

# La Mesa Civic Center Master Plan

Final Master Plan, March 2000

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#### **CITY COUNCIL**

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- Art Madrid, Mayor
- Donna Alm, Council Member
- Barry Jantz, Council Member
- Jay La Suer, Council Member
- Ruth Sterling, Council Member

#### **CITY OF LA MESA**

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- Dave Wear, City Manager
- Dave Witt, Community Development Director

#### **MASTER PLAN TEAM**

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## **Acknowledgments**

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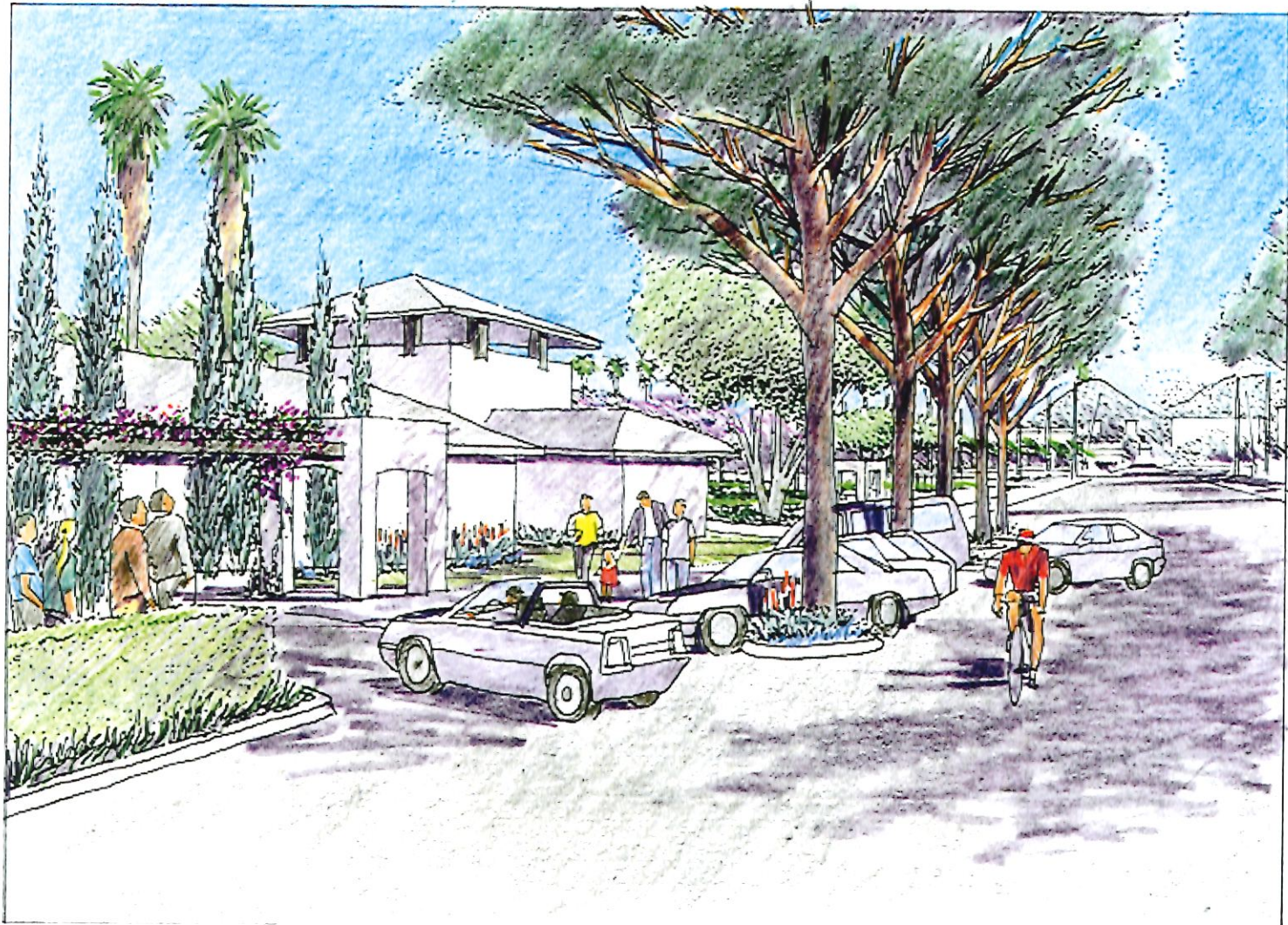




# Chapter 1

## **Introduction**

# I. INTRODUCTION



View of Allison Avenue

## MISSION STATEMENT

The purpose of this master plan is to provide a framework for the redevelopment of the City of La Mesa's Civic Center. It articulates the goals and objectives identified during the planning process, and establishes guidelines for implementation of key master plan elements.

## PLANNING CONTEXT

The La Mesa Civic Center was developed during the 1950's and 1960's. While some improvements have been made since then, many of the buildings require significant investment in order to modernize them.

In 1990, the City prepared a Specific Plan for the La Mesa Downtown Village. The Plan recommended keeping the Civic Center within the City's historic core. Subsequent planning studies confirmed the value of keeping the Civic Center within the downtown Village.

While well located, the age of the existing buildings, coupled with changing tenant status, created the need for a long-term strategy for the rehabilitation or replacement of the Civic Center facilities. This master plan addresses that need.

## PLANNING PROCESS

The planning process included: investigation of existing buildings to determine their condition; evaluation of their potential for continued use or adapted re-use; a space needs assessment for the City Administration, Fire, and Police Departments; workshops with the Community and Council and development of a framework for implementation of the plan.

## GOALS AND OBJECTIVES

The following goals and objectives were identified during the planning process:

### Allison Avenue Civic Center

The master plan shall reinforce Allison Avenue as the historic Civic Center of La Mesa. Civic buildings shall be located along the street, and streetscape improvements shall be made to integrate Allison with the rest of the La Mesa Village.

### Urban Forest

The Civic Center shall emphasize a people-oriented, park-like setting. It shall continue the concept of an urban forest identified in the Specific Plan.

### Phased and Flexible Implementation

The master plan shall be flexible, allowing incremental implementation using both large and small capital improvement projects.

## Community-Serving Uses

In addition to the programmed City functions such as city administration, fire and police departments, the master plan makes recommendations for the siting of additional community services including the Post Office, County Library, and Community Theater.

The master plan provides for other buildings of unspecified use. These are intended to complement the civic center and may include community service organizations, educational facilities, commercial or small scale retail uses.





## Chapter II

# **Development Framework**

## II. Development Framework



View of La Mesa and surrounding hills

### URBAN CONTEXT

The historic center of the City of La Mesa lies in a gentle valley, surrounded by rolling hills to the north and Mount Nebo and Mount Helix to the south.

Once part of the Mission San Diego De Alcalá land holdings, La Mesa was purchased in the late 19th century by the Allison family, who created a sheep ranch there towards the end of the century. Commercial development first occurred along (La Mesa) Boulevard. Residential development also occurred, extending from the commercial district into the surrounding hillsides. The topography and development created a compact and pleasant Village, with small parks and exotic landscaping.

Post-World War Two development in La Mesa has occurred primarily to the north of the original Village. It reflects the character of larger scale commercial and residential developments typical of its era.

Continued efforts by the City have preserved the economic viability and small town atmosphere of the Village. It possesses the charm and pedestrian-friendly character that many communities are now attempting to recreate.

The planning process revealed a strong preference by the Community and Council to relate the Civic Center to the Village, improving physical and visual connections between the two.

## THE SITE

The City's Civic Center lies adjacent to the village, bounded by major arterial streets to the north, east, and west, and by a rail line to the east. These streets (Baltimore Avenue, University Avenue, and Spring Street) were the historic crossroads of the region, connecting La Mesa with nearby communities.

Allison Avenue, which extends four blocks, bisects the Village core and defines the intersection of its two street grids. In addition to its significance as the historic civic center, Allison offers an excellent opportunity for a pedestrian-scaled street.

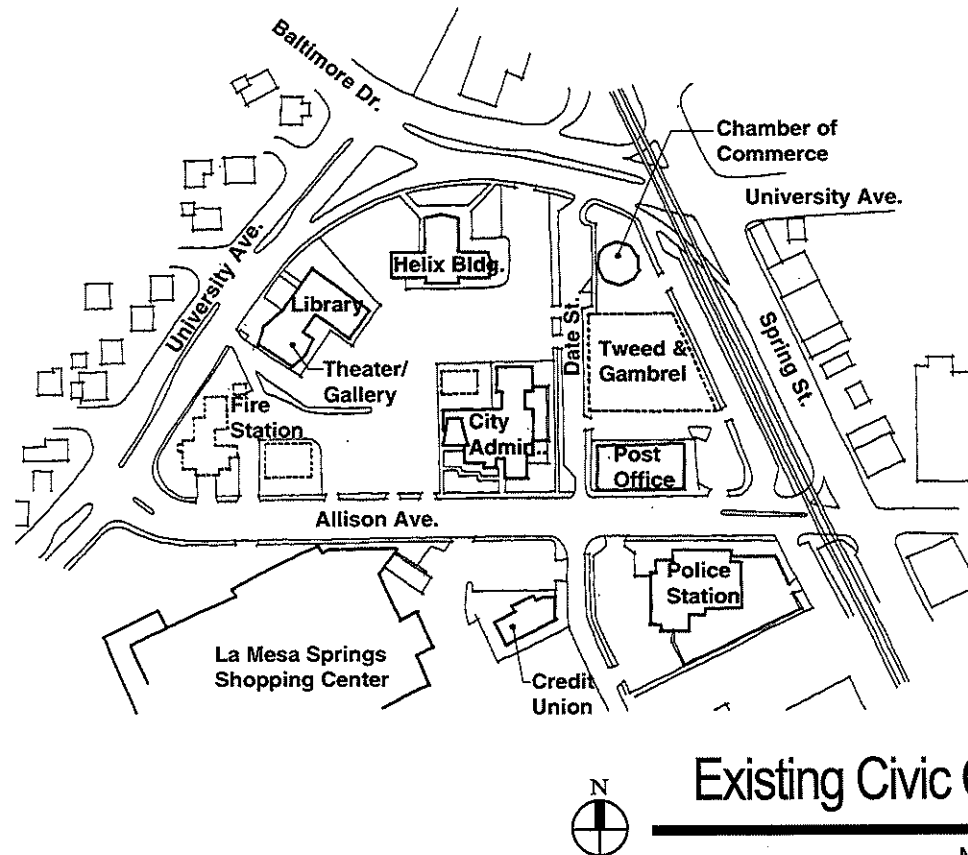
The Civic Center site includes three parcels: the main site west of Date Street, a second parcel east of Date, and the Police Department site south of Allison.

The main site contains the City Administration Building; Fire Station; County Library with attached community theater and art gallery; and the former Helix Water District Building. These buildings are arranged around a poorly-defined parking lot which dominates the center of the site. The buildings are oriented towards both the parking lot and to their respective streets, making it difficult to find the main entries.

To the east of Date lie the Post Office, Tweed & Gambrel Building, Chamber of Commerce building, and Nebo Avenue. Nebo's location adjacent to the rail line creates traffic backups for customers of the Post Office. Nebo also contains an easement for the San Diego Aqueduct, a 33"

water main that serves Northern La Mesa.

To the south of Allison lie the Police Station, Credit Union and La Mesa Springs shopping center. The shopping center is oriented away from Allison, exposing service areas and large expanses of blank wall to the Civic Center. While screened with attractive landscaping, the shopping center detracts from the pedestrian environment along Allison Avenue.



**Existing Civic Center**

Not to Scale

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## PHASING PLANS

The phasing plans describe an implementation framework, or potential sequence of improvements, that reflect the priorities and goals identified during the planning process.

Major Master Plan elements are discussed in further detail in Chapter 3 and Capital Improvement Projects are described in Chapter 5.

Phase One addresses the construction of a new fire station (identified as the highest priority of the major capital improvement projects); and various site and street improvements of smaller scope.

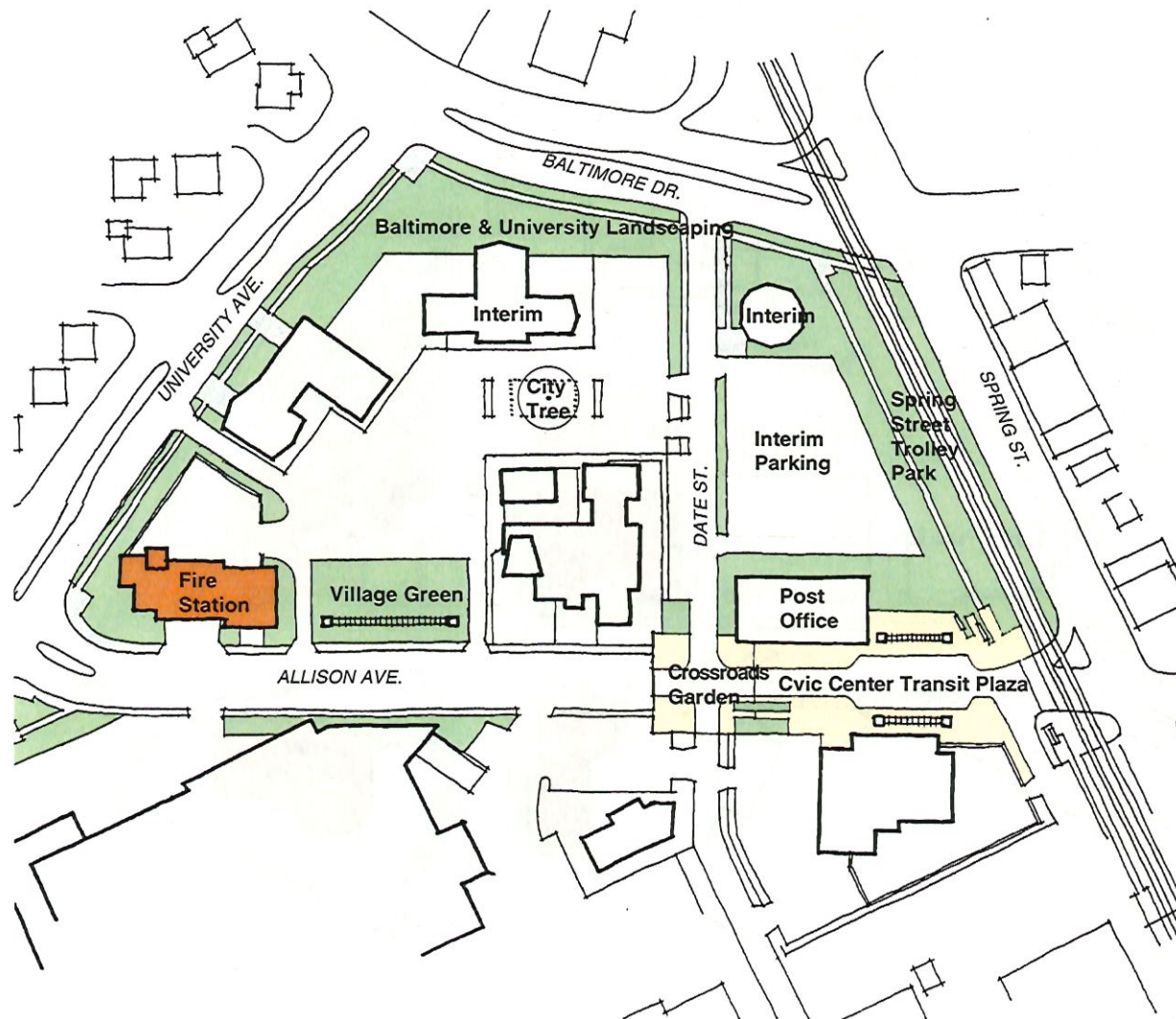
Phase Two addresses major capital improvements including the renovation and expansion of the City Administration Building; the construction of a new (or expansion of the existing) Police Station; and the relocation of the County Library and Community Theater.

Phase Three addresses the redevelopment of the northerly portion of the site, and includes the construction of two new buildings containing community-serving uses.

The construction of the Library/Theater will require the relocation of the Post Office. Potential sites for a new retail facility include the two new Buildings "A" and "B".

As a long-range document, the master plan is intended to be flexible in its implementation. Future financing and redevelopment opportunities may affect the sequence of implementation and should be considered a natural and inevitable part of the redevelopment process.





## PROJECT SUMMARY

### City Tree:

Ceremonial City Tree.

### Fire Station:

New 14,000 GSF Station with administration offices and emergency operations center (EOC).

### Allison Avenue / Village Green:

Public green space and gardens with parking and streetscape improvements.

### Crossroads Garden:

Public gardens and new transit plaza.

### Baltimore & University Landscaping:

Closure of right turn lane at Baltimore / University with landscaping, Traffic Signal / Intersection Improvements.

### East of Date:

Demolition of Tweed & Gambrel, construction of interim parking lot, closure and landscaping of Nebo Street. (Spring Street Trolley Park).

### Interim Uses:

Short term uses for Helix and Chamber of Commerce Buildings.



## Phase One

Not to Scale

## PROJECT SUMMARY

### Police Station:

Replacement or expansion of existing facility.

### City Administration Building:

Remodel and expansion of existing building. Includes new Chambers Courtyard.

**Library Arts Building and Community Theater:** Relocation of library, community theater, and art gallery. Includes new parking structure theater plaza and completion of park along Spring Street.

### Future Commercial:

Should site become available for development, siting new building should "complete" the Crossroads Intersection.



## Phase Two

Not to Scale



## PROJECT SUMMARY

### Building A:

20,000 GSF (maximum) building with community-serving use and below grade parking. (Potential Post Office)

### Building B:

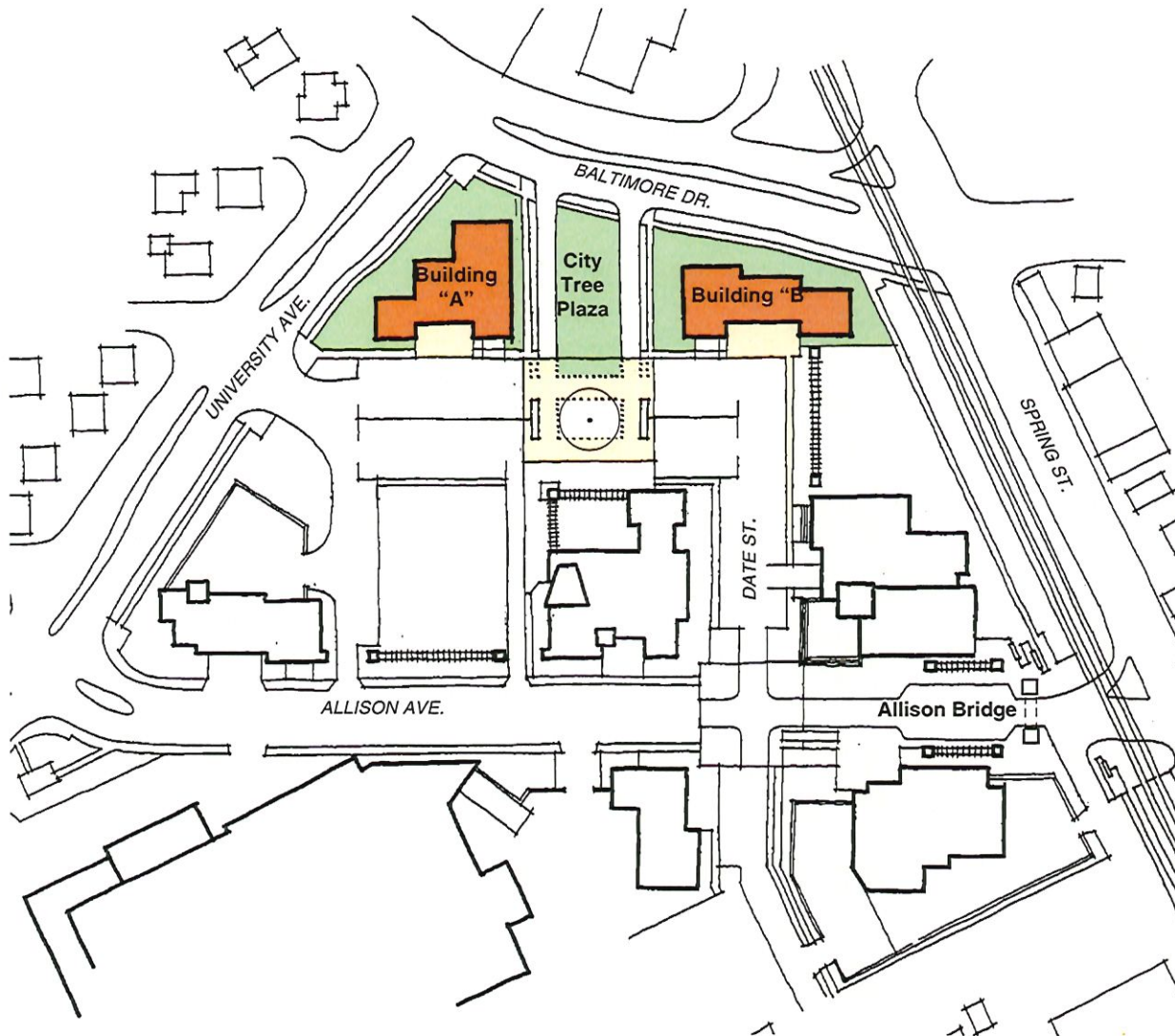
16,000 GSF building with community-serving use and below grade parking. (Potential Post Office)

### City Tree Plaza:

Enhanced Plaza w/ landscape green and one-way traffic loop.

### Allison Ave. Bridge:

Pedestrian bridge over Allison Avenue.



## Phase Three

Not to Scale

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## ULTIMATE DEVELOPMENT PLAN

The Ultimate Development Plan depicts the Civic Center after the implementation of all projects. In addition, other off-site improvements are recommended to strengthen the physical and visual connections between the Civic Center and the Village core. The Downtown Village Specific Plan provides additional information on streetscape and other urban improvements.

### *La Mesa Springs Shopping Center*

Encourage additional development at north side of the shopping center, oriented towards Allison Avenue.

### *University Avenue East*

Continue landscape treatments as recommended in the Specific Plan.

### *Spring Street*

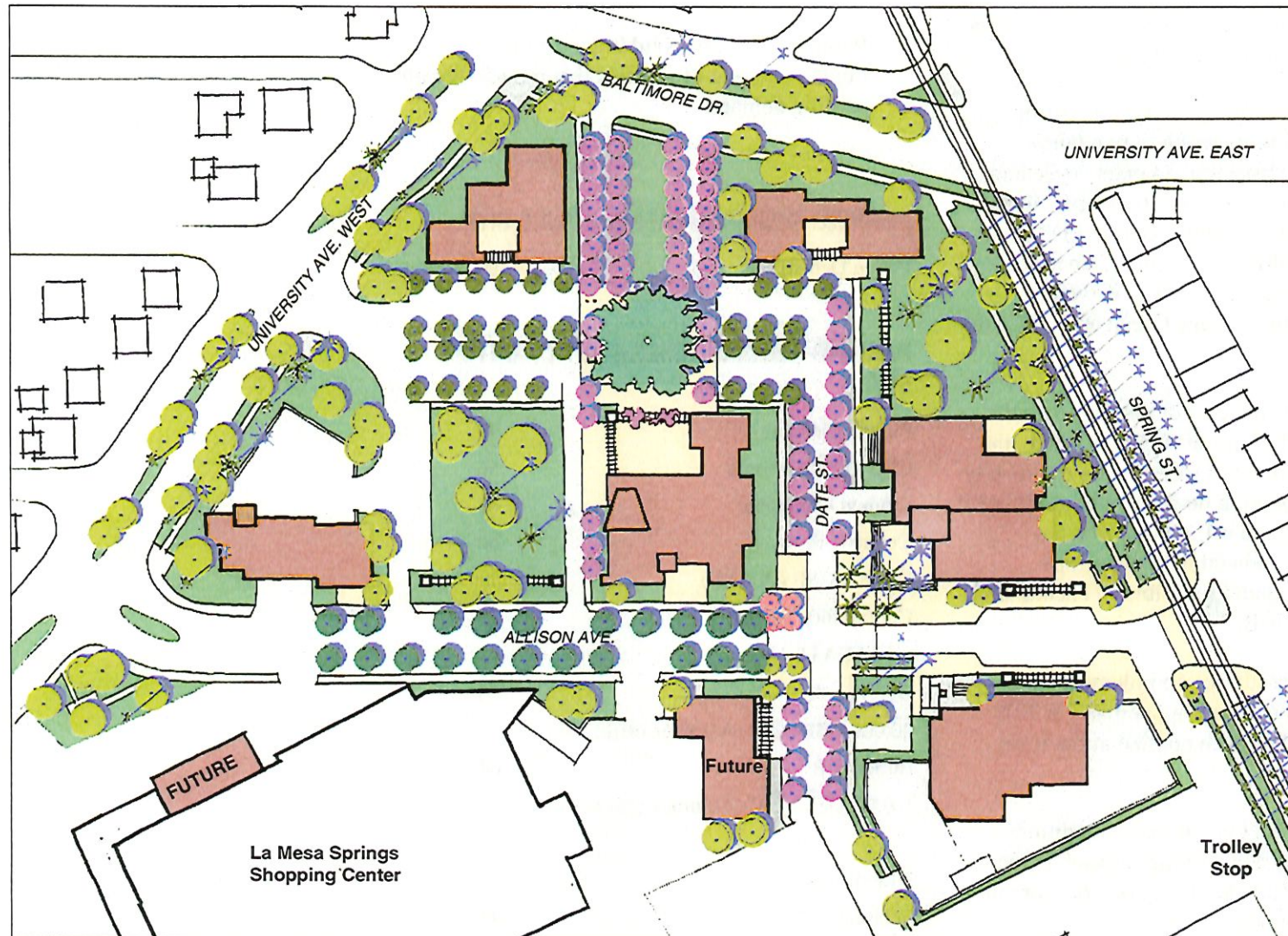
Continue landscape treatments as recommended in the Downtown Village Specific Plan.

### *Allison Avenue East*

Extend streetscape improvements the full length of Allison Avenue.

### *Trolley Stop*

Provide landscape and hardscape improvements consistent with the Spring Street Trolley Park.



*Site Plan*



## Ultimate Development Plan

Not to Scale

La Mesa Civic Center Master Plan



## CIRCULATION AND PARKING

The Master Plan makes several recommendations that modify the existing street system to create a more pedestrian-friendly environment.

These include the calming traffic on Allison Avenue by reducing its width to two lanes; converting Nebo Drive into an open space and pedestrian link; providing additional parking at Date Street; and improving access to the site at University and Baltimore Avenues. In order to reduce cross site traffic, one-way drives are recommended at the Village Green and City Tree Plaza.

In order to balance the cost of parking with the community's goal of preserving park space, the Master Plan recommends meeting approximately 50% of the total parking demand with grade-level parking (on-street and off-street), with the remainder accommodated in below-grade structures located under the Library/Theater and new Buildings A & B.

Because the proposed uses complement each other in terms of peak parking demand, a 20% shared use factor has been applied at the main site.

Should environmental or financial conditions render the below-grade parking infeasible, the parking shortfall may be met by one or more of the following methods:

- Construction of an above-grade parking structure south of Building A.

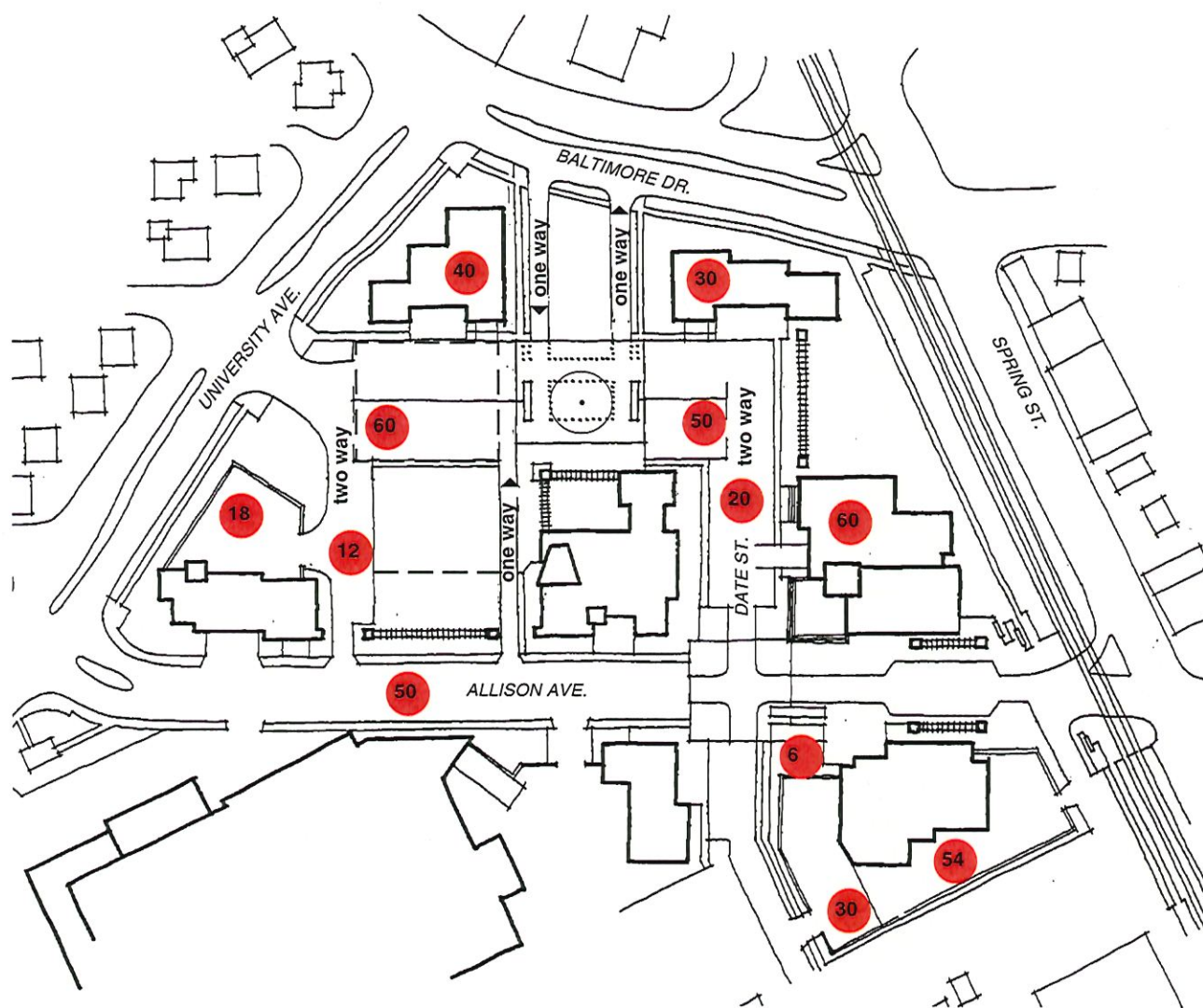
- Retention of surface parking in lieu of park space.
- Reduction of gross building area or implementation of policies that reduce overall parking demand.

### PARKING REQUIREMENTS @ POLICE SITE

Police Department	90
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### PARKING REQUIREMENTS @ CIVIC CENTER SITE

Fire Department	39
City Administration	56
Council Chambers	64
County Library (18,000 GSF / 300 SF)	60
Community Theater (250 SEATS / 4 )	63
Building A 20,000 GSF / 250 (Assumes office use)	80
Building B 16,000 GSF / 250 (Assumes office use)	64
20% of total	
Subtotal	426
Shared-Use Credit	86
Total @ Main Site	341



## Circulation and Parking

Not to Scale

### PARKING SUMMARY

#### Main Site (On-Street)

Allison Avenue	50
Date Street	20
	<hr/> 70

#### Main Site (Off-Street)

East and West Lots	110
Village Green	12
Fire Station (Secure)	18
	<hr/> 140

#### Main Site (Structured)

Library / Theater	60
Building A	40
Building B	30
	<hr/> 130

MAIN SITE TOTAL 340

#### Police Site

Off-Street (Visitor)	6
Employee / Dept. (Secure)	54
Additional for Structured Pkg.	30
	<hr/> 90

POLICE SITE TOTAL 90



## Chapter III

# **Elements of the Plan**

### III. Elements of the Plan



#### THE LANDSCAPE PLAN

The Civic Center is nestled into the base of the surrounding hills on the site of the Springs of La Mesa – a lush oasis setting where a forest can thrive. In 1990 the La Mesa Downtown Village Specific Plan established the Civic Center site as an ‘Urban Forest’ – a dramatic landscape filled with a variety of shade, flowering, and palm trees. The urban forest will reinforce La Mesa’s status as a “Tree City USA” and project a living message of the City’s commitment to improving the quality of life for its citizens. The concept of the urban forest is more than just trees – it is about the City’s vision to imbue its civic places with nature.

The landscape plan defines places for people to gather and enjoy the Civic Center Grounds, and makes recommendations for treating the edges of the site-the streets and paths that will bring people to the Civic Center.

#### The Civic Center Grounds

In keeping with the urban forest concept, a series of parks, gardens, and outdoor spaces have been planned to create the Civic Center Grounds. These spaces include the:

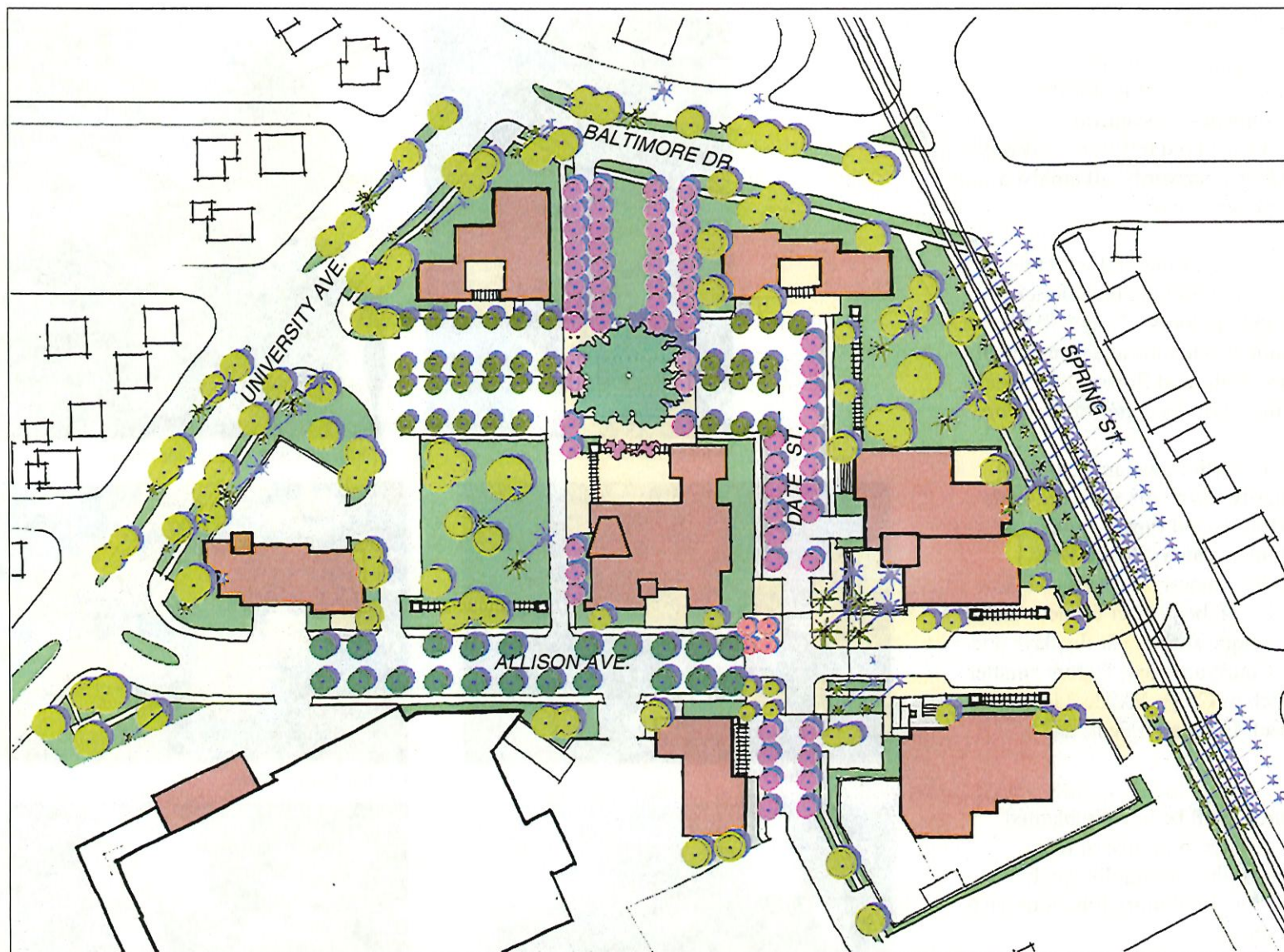
- Village Green
- Library Park
- City Tree Plaza

#### The Streets and Edges

Surrounding the Civic Center grounds are four landscape treatments that are designed to complement the different character of their respective streets. These conditions include:

- University Avenue/Baltimore Drive
- Allison Avenue
- Date Street
- Spring Street





*Site Plan*



## Landscape Master Plan

Not to Scale



## CIVIC CENTER GROUNDS

The Master Plan embraces the urban forest concept, creating a campus setting for the workings of government – a beautiful environment of vine covered trellises, walkways, flower beds, and lush courtyards, all amidst a grove of unique specimen trees.

Buildings are conceived as integral with the landscape – designed to blur the boundaries between indoors and outdoors. They will feature courtyards containing fountains and ornamental gardens of unique shrubs and flowers. Trellises with flowering vines will line exterior corridors

The Village Green, North Lawn and Library Park will be primarily lawn with majestic scale trees such as Norfolk Island Pine, Monkey Puzzle, Bunya-Bunya, Canary Island Date Palms, California Sycamores, and Coast Live Oaks (The grounds will be perfect for activities such as art fairs, antique shows, car displays and music festivals). Courtyards will feature smaller flowering trees such as Crape Myrtle, Golden Trumpet, Firewheel, Evergreen Pear, and Dombeya.

Surface parking areas will be heavily planted with trees to diminish the presence of the automobile. Areas of the parking lot can be closed off at times for community functions such as a Farmers Market.



Monkey Puzzle Tree



Courtyards with Arbors and Flowering Vines



Crape Myrtle Tree



Golden Trumpet Tree



Coast Live Oak Tree



Evergreen Pear Trees





The Civic Center Grounds: broad lawns with specimen trees.



Canary Island Date Palms



*Enlarged Plan*

## Civic Center Grounds

Not to Scale



## CITY TREE PLAZA

City Tree Plaza is comprised of three elements: the Chambers Courtyard, the City Tree Plaza, and the North Lawn.

Chambers Courtyard is an open air court leading from the parking areas to the north entry of City Hall. It is intended to be used for informal meetings of city employees and the visiting public and has comfortable benches and moveable chairs. It is filled with the gentle sound of falling water from a fountain, marking the site of the Springs of La Mesa.

The City Tree Plaza is the physical embodiment of La Mesa as a "Tree City USA". It represents the heart and soul of the community. The plaza will have special paving and is designed to accommodate a monumental tree such as Moreton Bay Fig, Coast Live Oak, Monkey Puzzle, Bunya-Bunya, Southern Magnolia, or Coral. This will be a tree that lasts for generations – marking the passage of time as it grows over the decades.

Civic ceremonies for inaugurations, awards and commendations will take place in the shade of the tree with the audience gathered on the North Lawn, framed by a double row of flowering trees such as Crape Myrtle, Gold Medallion, Firewheel, Evergreen Pear, Dombeya, or Jacaranda.



Moreton Bay Fig as a city tree



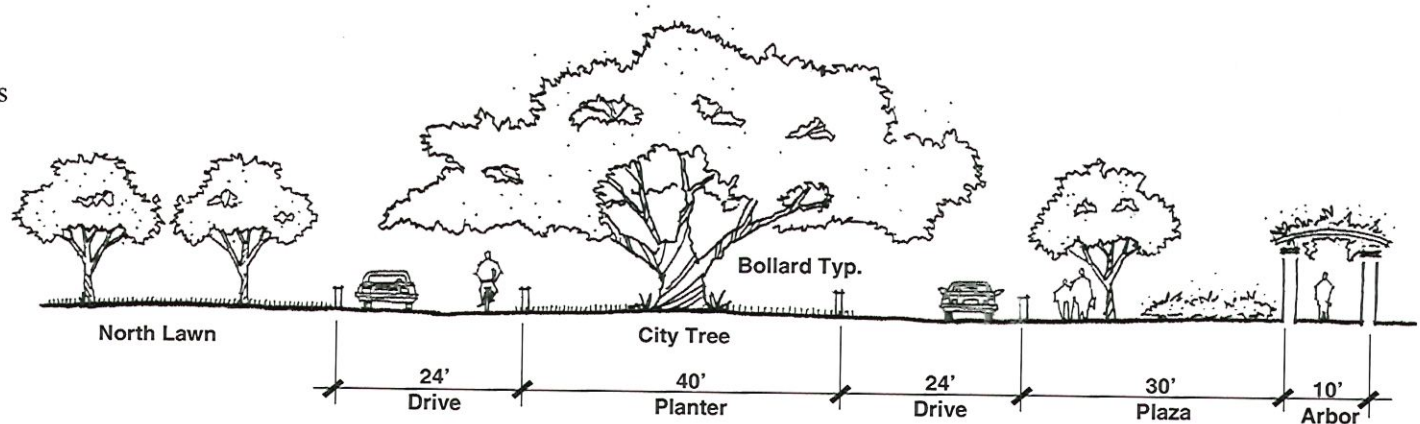
Courtyard with stone paving, fountain and movable chairs.



Walkways near the North Lawn.

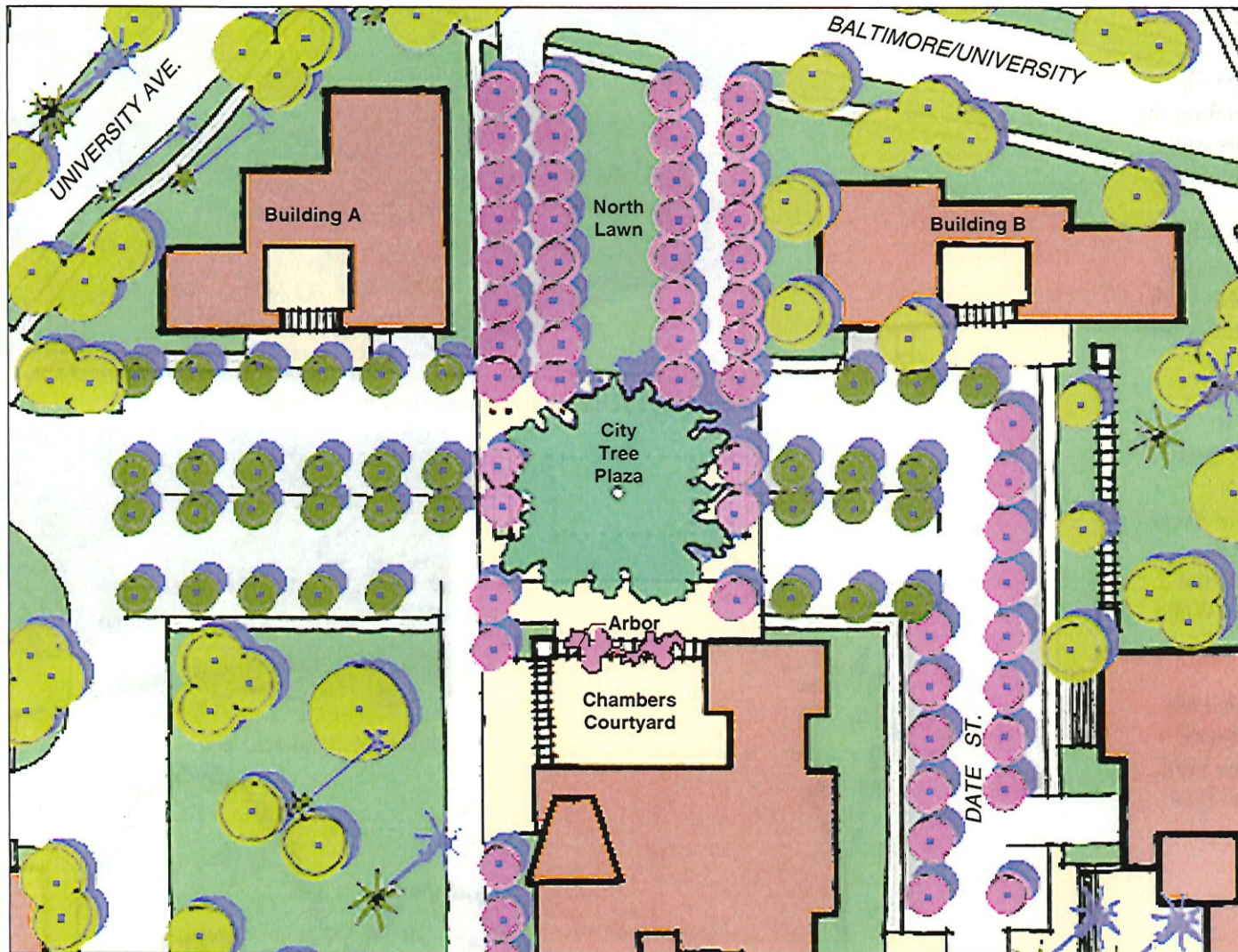


Vine-covered arbor with benches



Section at City Tree Plaza Looking East





*Enlarged Plan*

#### GUIDELINES

- City Tree Plaza: specimen tree protected by bollards and a "square" with enhanced paving.
- Chambers Courtyard: features an arbor/trellis, stone paving, and fountain.
- North Lawn has parallel rows of flowering trees and 20' wide one-way drives.
- City Tree Plaza axis centers on Chambers Courtyard.
- Buildings A and B are courtyard style buildings with structured parking below.



## City Tree Plaza

Not to Scale

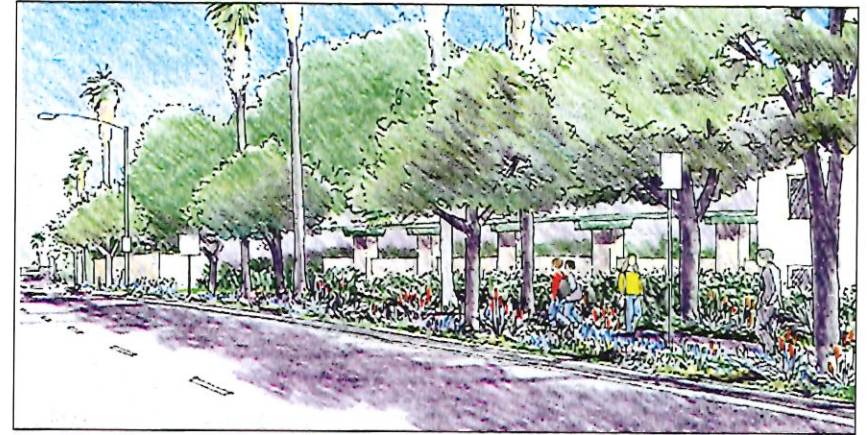


## UNIVERSITY AVENUE / BALTIMORE DRIVE

University and Baltimore are the most heavily traveled and highest speed streets surrounding the Civic Center. The landscape setting addresses those conditions by establishing a wide planting parkway at the curb to buffer the pedestrian walkways from the traffic. This parkway will contain hedge shrubs and a variety of flowering perennials, including succulents. Areas between the walkways and buildings will be primarily turf grass.

Trees will be planted in irregularly spaced groupings, and will include large canopy trees such as Tipuana, Jacaranda, Deodar Cedar, Liquidambar, California Sycamores, Tulip Trees, and Tabebuia. Clumps of palms provide a counterpoint and will compliment the existing landscape character near the former Helix Water facility.

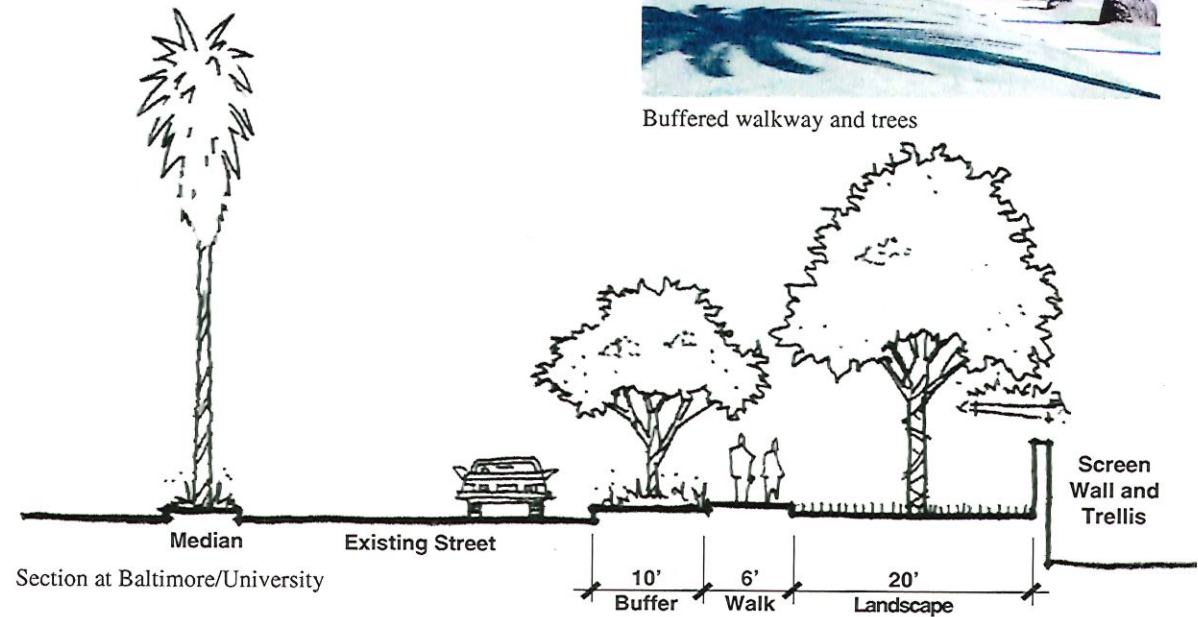
Specific planting plans would be developed for each new building. Screen walls with integral trellises covered in flowering vines will be built to screen buildings with service yards that face the street side.



Proposed edge at University Avenue looking Northeast



Buffered walkway and trees



## University Avenue / Baltimore Drive



## DATE STREET

Flowering trees such as Jacaranda or Tipuana are to be planted in the street parking area. The street will be designed as a plaza, with bollards defining parking areas instead of traditional curbs. The sidewalks will be level with the parking surface making access easier and further enhancing the pedestrian quality of the street.



Jacaranda Street Trees

## CROSSROADS GARDEN

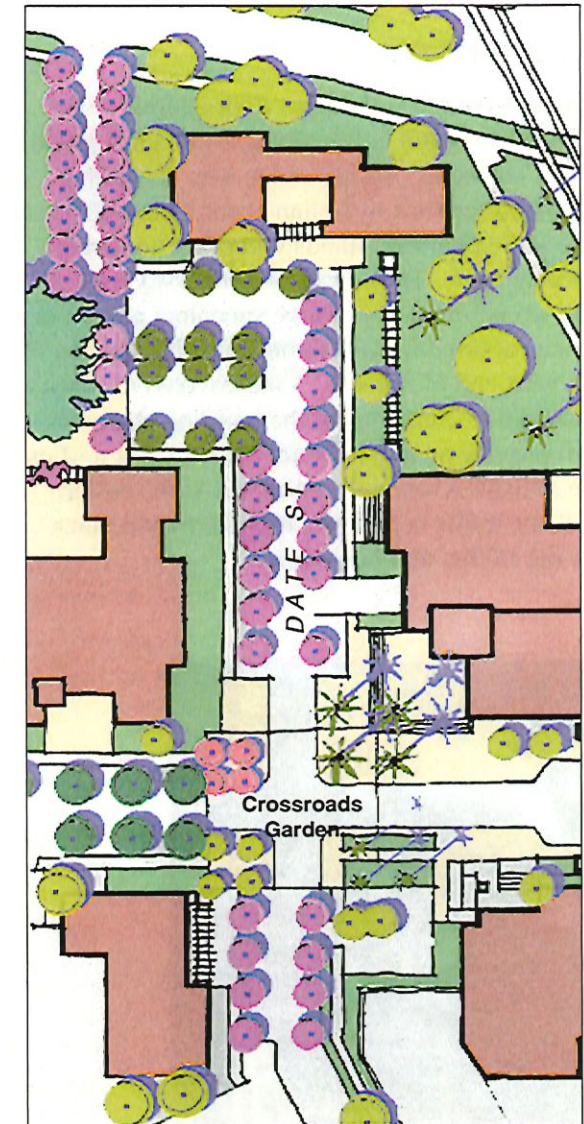
The Crossroads Garden brings the spirit of the urban forest to the intersection of Date and Allison. At each corner, a unique type of tree will be used. The trees will be arranged in tight groves acting as sentinels on the corner. The groves will be framed by low stone walls crafted in the character of the historic masonry in the surrounding residential areas. The ground will be paved in stone and tile with comfortable wood benches offering a rest stop for folks walking to the Civic Center.



Tree groves and planting beds at the Crossroads



Stone site walls frame the Garden



*Enlarged Plan*

## Date Street / Crossroads Garden

Not to Scale



## ALLISON AVENUE

Allison Avenue is the front door address to the Civic Center and is conceived as the most grand urban landscape feature of the site. Towering canopy trees such as Italian Stone Pine will be set into large planting islands within the on-street parking bays. The corner of University and Allison is framed by a large succulent garden in a space captured from the non-driveable portion of the west end of Allison. Vine-covered trellises, designed to complement the building character, will provide an architectural element that unifies the Allison Avenue streetscape. At the eastern end, the trellis is part of a transfer transit plaza for the trolley and bus riders.



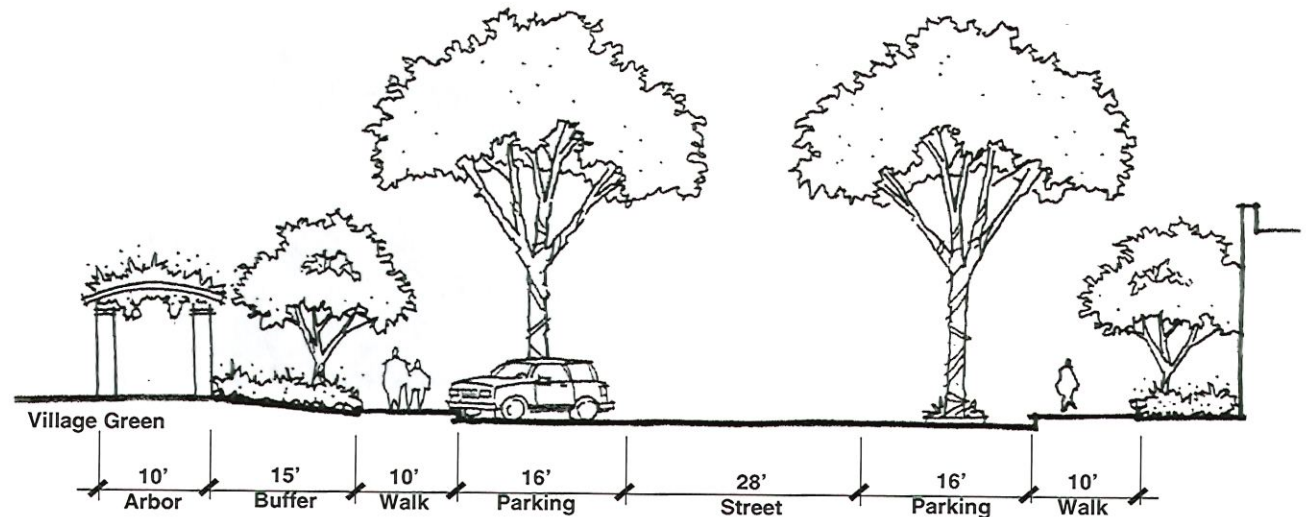
Trellis are unifying elements



Allison Avenue: View of street and proposed gardens.

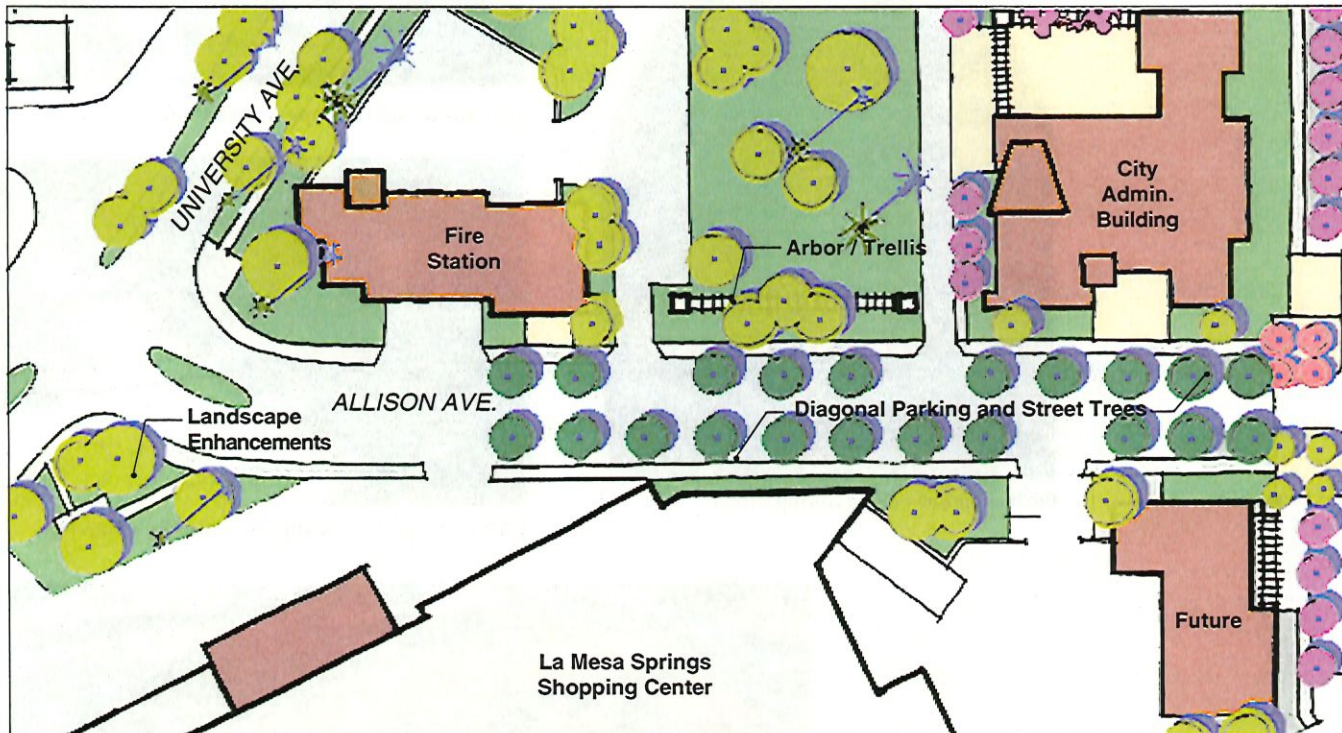


Stone Pine trees



Section at Allison Avenue Looking East



*Enlarged Plan***GUIDELINES**

- 45° Diagonal parking with Street Trees.
- One traffic lane each way (28' street width).
- Consistent building setbacks establish street edges at both sides of Allison.
- Arbor provides park edge, and visual connection between buildings.
- New buildings, walls, and landscaping screen shopping center service area.
- University/Allison corner enhanced with landscaping.

**Allison Avenue**

Not to Scale



## SPRING STREET

Many people will see the Civic Center from the vantage point of the trolley. This eastern edge is developed as the 'front yard' for the heavily traveled street and trolley corridor. The 1990 Village Plan established Spring Street as a civic boulevard lined with dramatic rows of Mexican Fan Palms. In the area between the tracks and new Civic buildings, a linear park is created featuring a series of formal gardens of different perennials, succulents, and shrubs. Benches and pathways weave in and out among trees of the same palette as the University/Baltimore edge.

## CIVIC CENTER TRANSIT PLAZA

The Transit Plaza creates a Civic Center destination for the bus and the trolley systems. Allison Avenue will be narrowed to allow broad pedestrian ways of patterned paving, combining concrete, stone and tile. Raised planting beds, flowering trees, and trellised bus shelters covered with flowering vines will provide comfortable waiting areas for bus and trolley patrons.



Formal gardens along Spring Street



Patterns created with paving and lawn

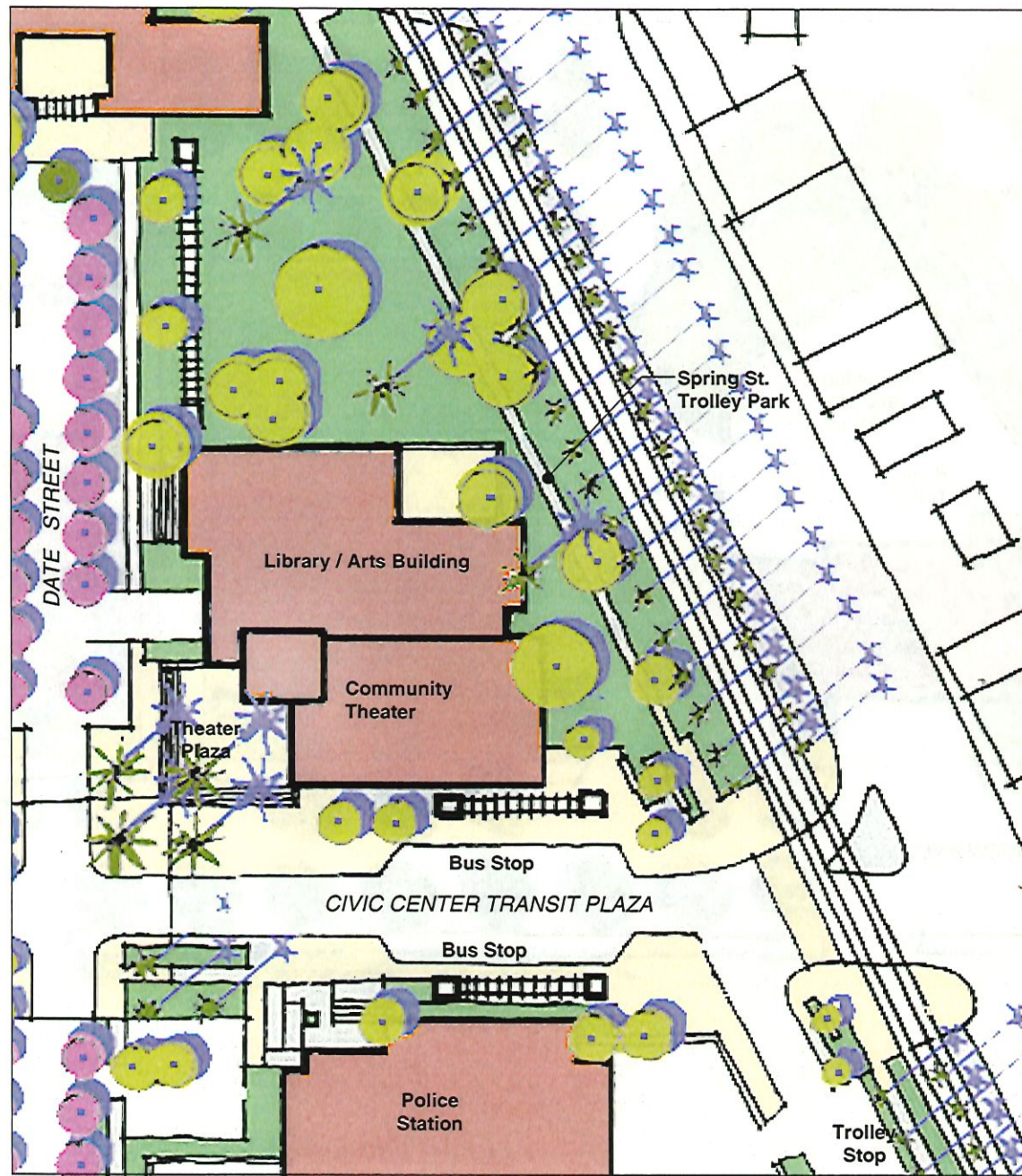


Lined fan palms, low shrubs, and colored paving



Patterned paving and planters define the Transit Plaza





Enlarged Plan

### GUIDELINES

- Allison narrows to one lane each way (28' wide).
- Transit plaza has bus stops that include shelters and arbors.
- Library, theater, and plaza elevated 1/2 level above parking structure.
- Transit plaza includes patterned paving and landscaping and extends to trolley stop.
- Consistent building setbacks establish street edges at both sides of Allison.
- Trolley Park extends from trolley stop to Baltimore Drive.



## Civic Center Transit Plaza Spring Street Trolley Park

Not to Scale

La Mesa Civic Center Master Plan



## GUIDELINES

- Building siting reinforces street edge at Allison.
- Two-story living area.
- One-story Apparatus and Administrative areas.
- Retaining / security walls accommodate grade changes.
- Some grade modifications will be required of existing parking lot.



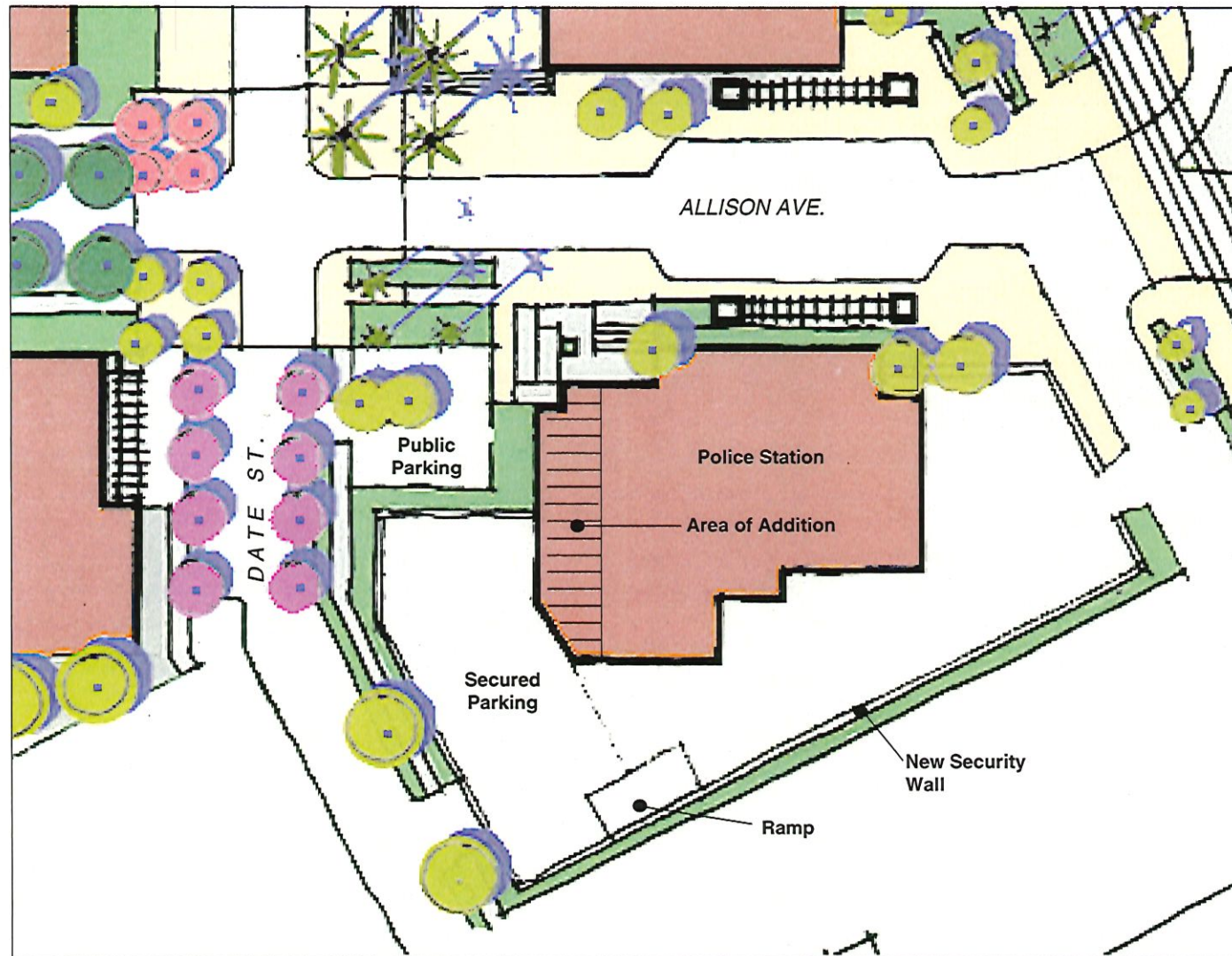
*Enlarged Plan*

## Fire Station

Not to Scale





*Enlarged Plan***GUIDELINES**

- Building entry orients towards Allison and the Crossroads Gardens.
- Visitor parking access from Date Street
- New Site / Security Walls for Department and employee vehicles.
- Option for additional structured parking.

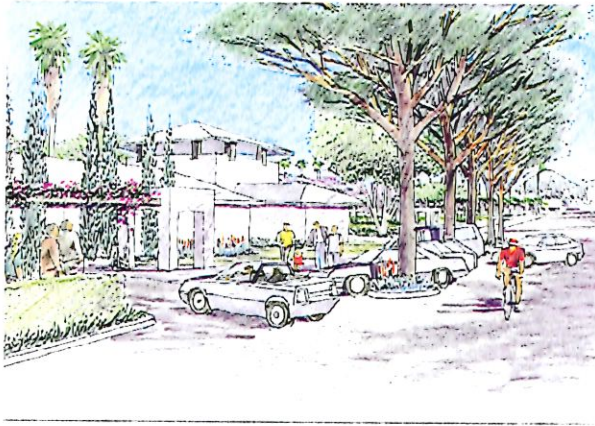
**Police Station**

Not to Scale



# Chapter 7 **Architectural Guidelines**

## IV. Architectural Guidelines



### ARCHITECTURAL CHARACTER

During the planning process, the Community and City Council frequently described the desired character of their Civic Center in terms of scale: intimate and village-like; ambiance: people-friendly, warm and inviting; and amenities: landscaping, courtyards, fountains, and gardens.

In addition to creating inviting, people friendly buildings, the Architectural Guidelines were developed to address the following priorities:

- Strengthen the overall identity of the Civic Center.
- Respect the scale and character of the existing buildings within the Civic Center and Downtown Village.
- Allow the character of the Civic Center to evolve gradually over time.
- Improve the relationship between buildings and the landscaped setting.
- Create buildings that are of high quality without being ostentatious.



## CIVIC IDENTITY

New buildings shall strengthen the identity of the Civic Center.

- The siting of Civic structures shall be urban in nature. Building setbacks and street facades at Allison Avenue and Date Streets shall create a consistent street wall.
- Building entries at Allison Avenue and Date Street shall orient towards the street.
- Building entries shall be clearly expressed and easily visible.
- Tower elements shall be used to introduce vertical contrast and civic presence.

## INTIMATE SCALE / VILLAGE FEEL

The scale and massing of new and remodeled structures shall be consistent with the existing Civic buildings and the commercial buildings in the Downtown Village.

- Building masses shall be broken into smaller components. Where practical, these components shall express internal elements (e.g., Council Chambers, lobbies, or other public areas).
- Roofs shall be low pitched (3:12 maximum), shallow curved, or flat with parapets.
- In keeping with the character of Village storefronts, building windows shall be large and transparent.



*Downtown Village Buildings: Intimate Scale, Articulated Massing and Tower Elements*



## KIT OF PARTS

In order to strengthen Civic identity, while allowing for gradual evolution in character, emphasis shall be placed upon the consistent use of specific architectural and site elements. These serve as the “kit of parts” in the development of the Civic Center.

### Courtyards, Gardens, & Fountains

Building footprints shall be articulated to define courtyard and garden spaces. These spaces shall be arranged to include both active areas for use by Civic Center visitors and employees, and more private areas for employees only.

They shall be furnished with special paving, fountains, arbors, trellis, tables and seating, enhanced landscaping and lighting, and other amenities to encourage their use and enjoyment.

### Trellis & Arcades

Freestanding arcades and trellis elements shall be used to define edges of green spaces, to create visual links between buildings, and to provide shaded seating areas.

### Natural Light & Ventilation

The use and placement of operable windows shall encourage natural cross ventilation, and create visual and physical connections between interior and exterior spaces. Day-lighting strategies that increase natural lighting in interior spaces, and reduce energy consumption, are encouraged.

## Signage and Graphics

Signage shall reinforce the environmental theme of the Civic Center. Signage monuments shall be low in scale and of natural stone with light colored plaster and concrete as a secondary material.

For building signage and primary site monuments, pin-mounted, cast metal letters are recommended.

For directional signage and information kiosks, aluminum sign panels will be mounted on a permanent base of stone / stucco.

### Site Lighting

Street lighting will be consistent with the existing lighting in the Downtown Village.

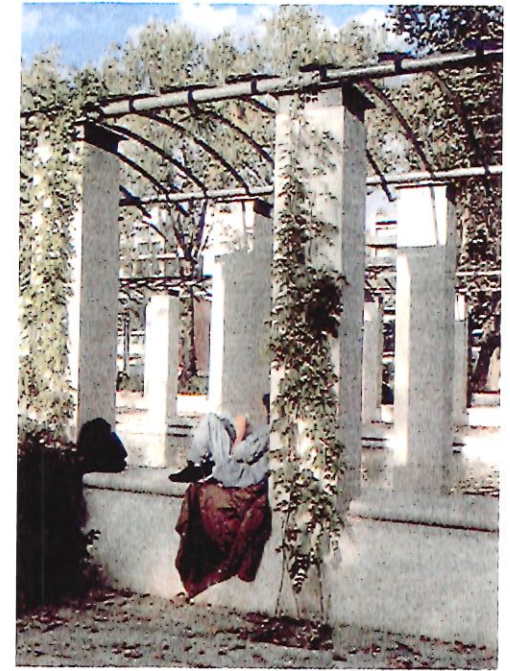
### Benches and Seating

The liberal use of seating is encouraged. Within building courtyards, benches will be moveable. At other areas premanufactured wood or steel benches will be used and mounted in place. Where possible, integration of seating with arbors and site walls is recommended.

### Bus Shelters

Shall match the design of the trellis / arbors.

### Paving



*Arbor with trellis and seat wall*



*Site furnishings: lighting, benches and tree grates*



## WARM & INVITING MATERIALS

The building materials are an integral element of the Civic Center's kit of parts. Rather than proscribing a particular style, it is recommended that the City emphasize the consistent use of the materials palette.

The following elevation concepts for the City Administration Building and Police Station offer representative applications of the materials.

### Stone:

Natural stone is considered the key element of the materials palette. It will be the signature material for the Civic Center.

Stone shall be used for site and building walls, flooring, and paving.

### Tile:

Multi-colored ceramic tiles shall be used to provide accents at walls, fountains, and within courtyards.

### Stucco:

Stucco surfaces shall be light-colored with a smooth troweled finish.

### Wood:

Natural and painted wood shall be used in soffit and fascia areas.

### Concrete and Metal:

Concrete and metal shall be used for trellis and arbor elements, exterior columns, site walls and in other areas where exposure or impact require durability.

### Roofing:

Sloped roofs shall have sheet metal roofing with light to medium color.

Flat roofs shall have membrane roofing with medium color.

### Windows:

All windows shall have natural aluminum frames with clear glazing.

### Site Walls:

All site walls shall be solid with stucco or natural stone finish. All service areas shall be fully screened.



*Site walls and seating featuring natural stone*



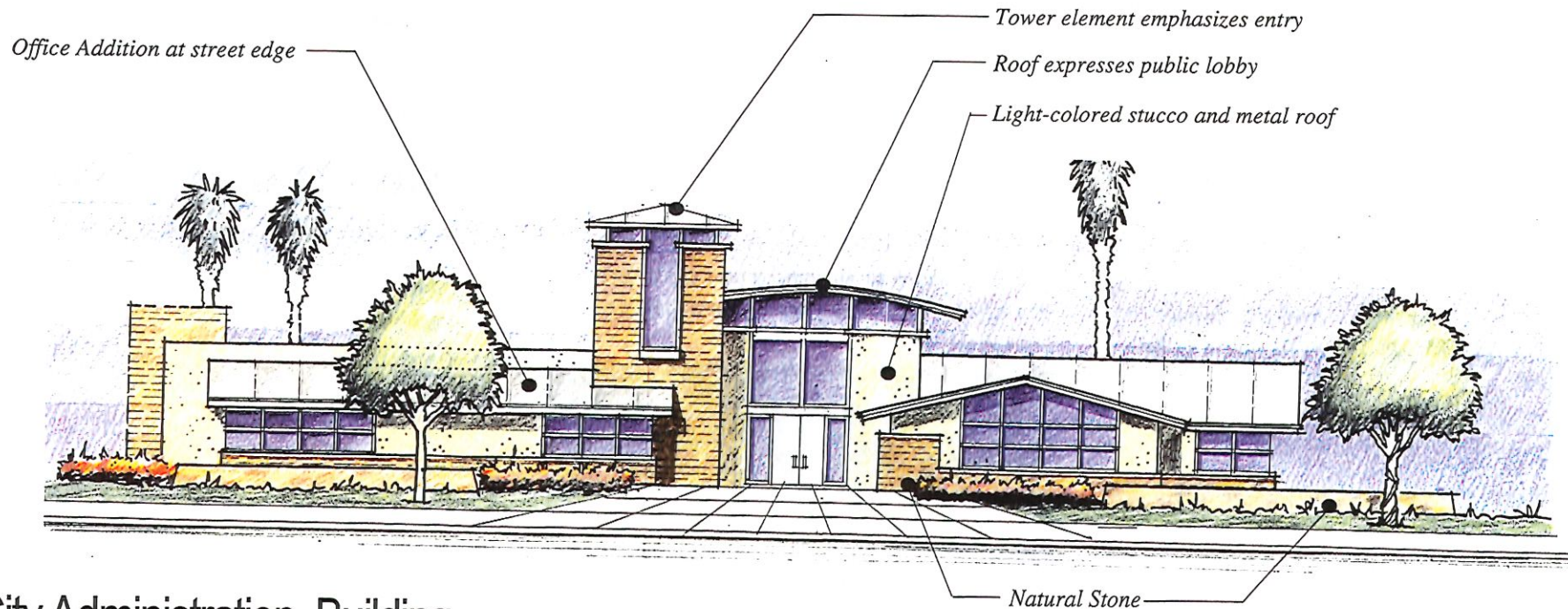
*Inviting use of windows and courtyards*

## CITY ADMINISTRATION BUILDING

The remodel of the Administration Building will provide a centerpiece for the Civic Center. A new tower and raised lobby will provide a clear identity for the building, and an office addition will establish an urban street-edge along Allison Avenue. The use of natural stone, light colored plaster, metal roofing, and large expanses of glass will create a warm and inviting materials palette.



*Existing Administration Building*



## City Administration Building

Not to Scale

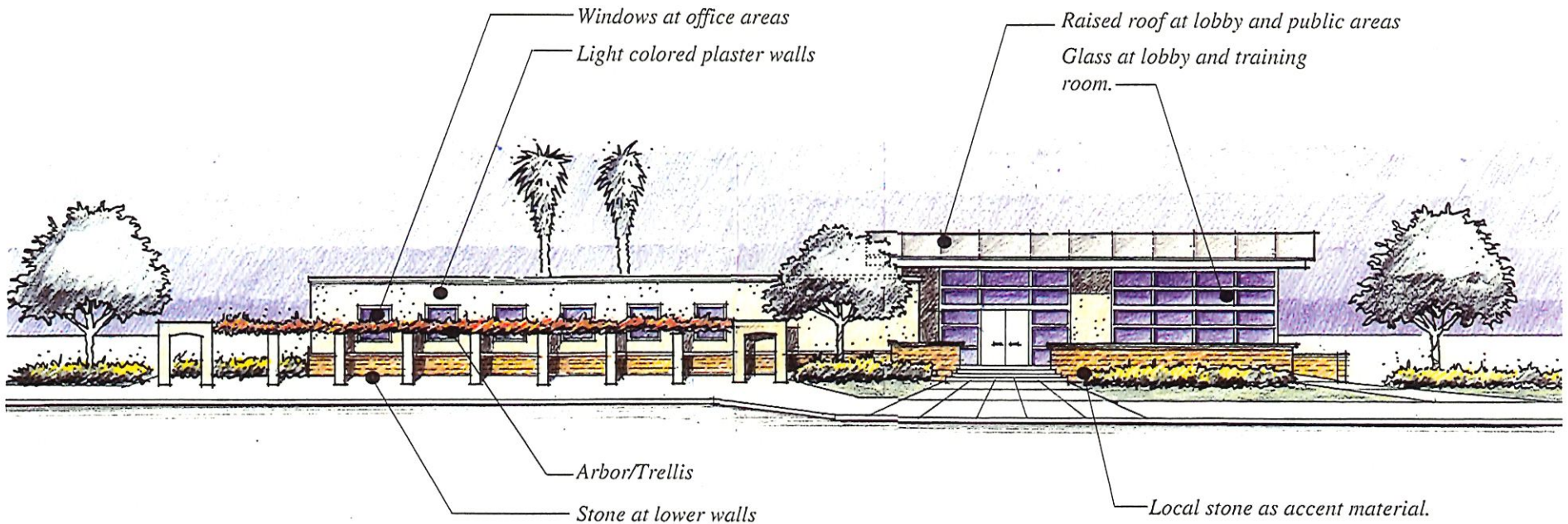




Existing Police Station

## POLICE STATION

The Police Station will continue to hold an important position at the Date and Allison Crossroads - The Heart of the Civic Center. A raised roof and large expanses of glass at the lobby and training room will make the Station more accessible to the people of La Mesa. Windows into the office areas will introduce natural light and improve the working environment. The use of natural stone and light colored plaster will visually unite the Station with the rest of the Civic Center.



## Police Station

Not to Scale





# Chapter V

## **Capital Improvements Summary**

## Capital Improvements Summary

The Capital Improvements Summary was developed as a framework to guide the long-range implementation of the Master Plan.

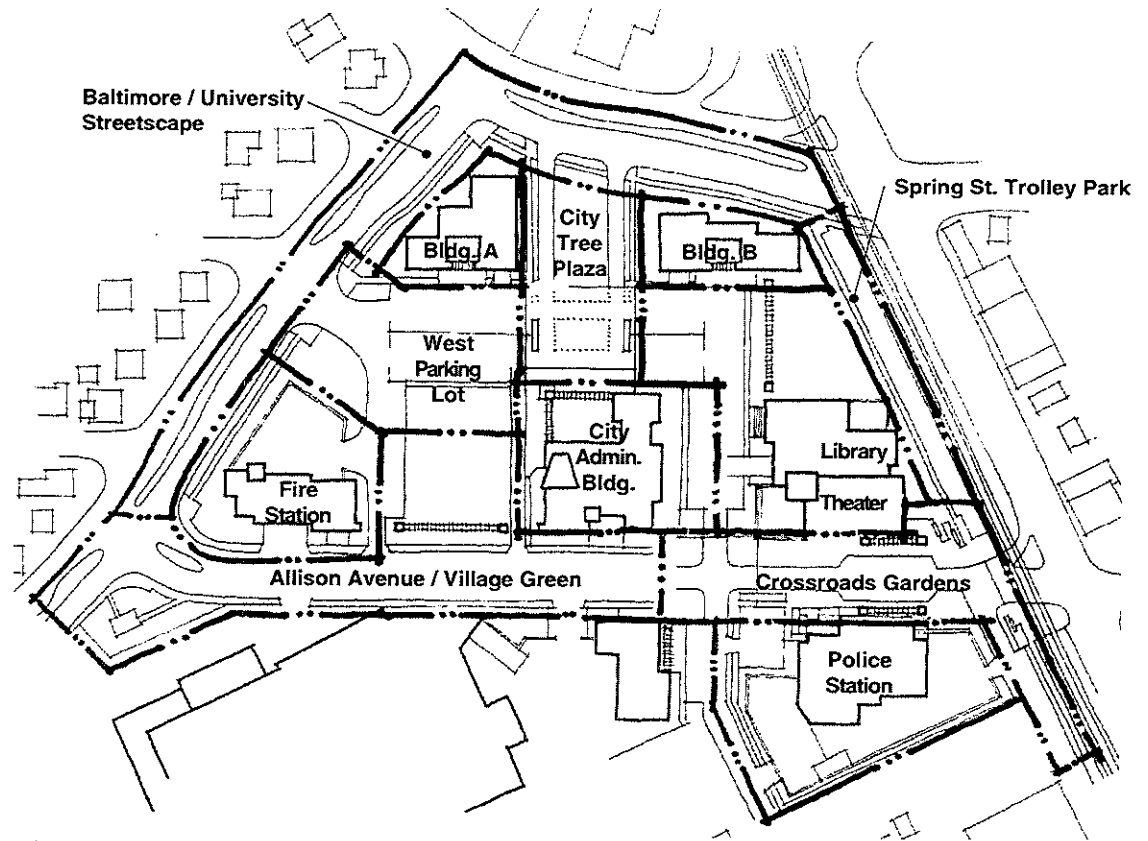
The cost data was prepared using unit (square foot) prices for recently constructed facilities of similar type, adjusted to reflect Year 2000 costs. Costs are for hard construction and furnishings, fixtures and equipment only, and do not include costs for design fees, agency review and permits, relocation and other soft costs.

Demolition costs are included with an allowance of \$10/SF. Because the scope of the master plan did not include hazardous materials testing, the demolition costs should be considered allowances only. It is recommended that testing be performed to verify actual abatement costs.

Site work costs are assumed to include site demolition, grading and drainage, minor site utilities, hardscape and paving, site furnishings, and site lighting. Site costs do not include costs for mitigation of site contamination, replacement of major utility or drainage structures, or modifications to traffic signals. Building costs include replacement, where appropriate, of electrical transformers.

The Capital Improvements Plan identifies the general project boundaries used in the preparation of the estimates. Some overlaps in site improvement costs are inevitable in long-range plans, and they have been anticipated in the preparation of the estimates. Depending upon the final sequence of implementation, these boundaries should be adjusted to suit specific project needs.

The ultimate cost of the projects will be affected by the site boundaries, cost of abatement, and inflation. It is recommended that project costs be reviewed and updated prior to commitment of funds.



## Capital Improvements Plan

Not to Scale

## Phase One

### FIRE STATION

This project replaces the existing Fire Station 12 and Fire Administration offices. The new facility will include a new emergency operations center (EOC). Site work costs include a 12' (average height) retaining/security wall around the Station yard. Costs do not include specialized communication systems.

Item	Qty	Unit	Unit Cost	Cost
New Building	14,000	SF	\$180.00	\$2,520,000
FFE	1	LS	\$50,000	\$50,000
Site Work	45,000	SF	\$6.00	\$270,000
Landscape & Irrigation	15,000	SF	\$5.50	\$83,000
Total				\$2,923,000

### ALLISON AVENUE / VILLAGE GREEN

This project provides diagonal parking, sidewalks, street trees and other streetscape improvements on Allison Avenue, and constructs the Village Green. It may be implemented with the Fire Station.

Item	Qty	Unit	Unit Cost	Cost
Site Work	92,000	SF	\$4.00	\$368,000
Landscape & Irrigation	40,000	SF	\$4.00	\$160,000
Trellis/Furnishings	1	LS	\$75,000	\$75,000
Total				\$603,000

### THE CITY TREE

This project plants a specimen tree in the center of the future City Tree Plaza.

Cost: Approx. \$20,000

### CROSSROADS GARDENS

This project constructs a new transit plaza at Allison Avenue, new urban gardens at the Date and Allison Intersection. It may be implemented with the Post Office relocation or the Library / Theater project.

Item	Qty	Unit	Unit Cost	Cost
Site Work	47,000	SF	\$8.00	\$376,000
Landscape & Irrigation	12,000	SF	\$11.00	\$131,000
Trellis/Furnishings	1	LS	\$100,000	\$100,000
Total				\$607,000

### SPRING STREET TROLLEY PARK

This project improves Nebo Avenue into a landscaped park and pedestrian way. It includes the closure of the free right turn lane at Spring Street and University.

Item	Qty	Unit	Unit Cost	Cost
Site Work	25,000	SF	\$6.00	\$150,000
Landscape & Irrigation	20,000	SF	\$5.00	\$100,000
Trellis/Furnishings	1	LS	45,000	\$45,000
Total				\$295,000

### BALTIMORE AND UNIVERSITY STREETSCAPING

This project closes the existing free right turn lane at the Baltimore / University intersection and provides landscaping, pedestrian walks, and median improvements along both streets.

Item	Qty	Unit	Unit Cost	Cost
Site Work	25,000	SF	\$6.00	\$150,000
Landscape & Irrigation	25,000	SF	\$5.00	\$125,000
Trellis/Furnishings	1	LS	\$25,000	\$25,000
Total				\$300,000

## Phase Two

### POLICE STATION

Two options are presented. The first is replacement of the existing Station with a new 26,000 GSF facility. The second is the modernization and expansion of the existing Station to 22,000 GSF. (Note: The expansion alternative meets current requirements with some provision for growth, the new facility accommodates additional future growth).

Special site costs include a new security wall (8' average height) around the department / employee parking area. The New Facility alternative includes a 60 space, above grade parking structure.

#### New Facility Alternative:

Item	Qty	Unit	Unit Cost	Cost
New Building	26,000	SF	\$210	\$5,460,000
FFE	26,000	SF	\$25	\$650,000
Parking Structure	60	SP	\$8,500	\$510,000
Site Work	60,000	SF	\$5.00	\$300,000
Landscape & Irrigation	10,000	SF	\$6.50	\$65,000
Total				\$6,985,000

#### Expansion Alternative:

Item	Qty	Unit	Unit Cost	Cost
Building Remodel	18,000	SF	\$160	\$2,880,000
Building Addition	4,000	SF	\$210	\$840,000
FFE	22,000	SF	\$25	\$550,000
Site Work	60,000	SF	\$5	\$300,000
Landscape & Irrigation	10,000	SF	\$6.50	\$65,000
Total				\$4,635,000

### POST OFFICE

This project includes the relocation of the Post Office into a new retail facility of approximately 8,000 GSF.

Cost: To Be Determined

### LIBRARY / ARTS BUILDING AND COMMUNITY THEATER

This project includes the relocation of the library, community theater, and art gallery. It includes the Theater Plaza, completion of the Spring Street Trolley Park, and a 60 space parking structure, one-half level below grade. Library costs do not include funds for collections.

Item	Qty	Unit	Unit Cost	Cost
New Library Building	18,000	SF	\$250	\$4,500,000
FFE	18,000	SF	\$50	\$900,000
New Theater Building	10,000	SF	\$250	\$2,500,000
FFE	10,000	SF	\$50	\$500,000
Parking Structure	60	SP	\$10,000	\$600,000
Site Work	100,000	SF	\$5.00	\$500,000
Landscape/Irrigation	40,000	SF	\$4.75	\$190,000
Trellis / Furnishings	1	LS	\$75,000	\$75,000
Total				\$10,265,000

### WEST PARKING LOT

This project includes expansion of the Village Green and parking lot and site work required by the relocation of the Library/Theater.

Item	Qty	Unit	Unit Cost	Cost
Site Work	46,000	SF	\$5.00	\$230,000
Landscape/Irrigation	20,000	SF	\$5.50	\$110,000
Trellis / Furnishings	1	LS	\$30,000	\$30,000
Total				\$444,000

**CITY ADMINISTRATION BUILDING EXPANSION**

Remodel of existing building and 4,000 square foot addition, including building lobby, office space, toilet facilities. Includes the Council Chambers foyer.

Item	Qty	Unit	Unit Cost	Cost
Building Remodel	18,000	SF	\$130.00	\$2,340,000
Building Addition	4,000	SF	\$150.00	\$600,000
FFE	22,000	SF	\$35	\$770,000
Site Work	30,000	SF	\$6.00	\$180,000
Landscape & Irrigation	15,000	SF	\$6.00	\$90,000
Trellis / Furnishings	1	LS	\$45,000	\$45,000
Total				\$4,025,000

**Phase Three****CITY TREE PLAZA**

This project includes the City Tree Plaza and North Lawn. These improvements may be implemented with Buildings A & B.

Item	Qty	Unit	Unit Cost	Cost
Site Work	42,000	SF	\$8.00	\$336,000
Landscape & Irrigation	28,000	SF	\$5.00	\$140,000
Trellis/Furnishings	1	LS	\$50,000	\$50,000
Total:				\$526,000

**NEW BUILDINGS A & B**

This project includes the construction of two new buildings. They are assumed to be courtyard style with entries facing southward towards the City Administration Building. Building A shall have not more than 20,000 GSF floor area on two floors. Building B shall have not more than 16,000. Each building has a single level of below grade parking.  
Cost: To Be Determined

**ALLISON AVENUE BRIDGE**

This project constructs a pedestrian overpass at the Crossroads transit center.  
Cost: To Be Determined



